



## **Community Improvement Board Regular Meeting Agenda**

November 29, 2022  
5:30 PM  
6738 Dixon Street  
Milton, FL 32570

- 1. Call Meeting to Order**
- 2. Review and Approval of Agenda**
- 3. Approval of Minutes**

Item # 2022-1026

Approval of Minutes from October 25, 2022 meeting

- 4. Agenda Items**

Item # 2022-1027

Open Container Draft Ordinance

Item # 2022-1028

Residential Commercial Zoning District

- 5. Public Input**
- 6. Old Business**
- 7. New Business**
- 8. Adjournment**

Pursuant to the provisions of the Americans with Disabilities Act, any person requiring special accommodations to participate in this meeting is asked to advise the City at least 48 hours before the meeting by contacting City Hall, 6738 Dixon Street, Milton, or by calling 983-5410.

*"If any person decides to appeal any decision made by the board, agency, or commission, with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." FS 286.0105*



Agenda Item # 2022-1026

## Approval of Minutes from October 25, 2022 meeting

### MEETING DATE

November 29, 2022

### PREPARED BY

### BACKGROUND

### SUMMARY

### RECOMMENDATION

### ATTACHMENTS

1. CIB Meeting Minutes 10-25-22 - DRAFT



## **City of Milton**

### **Community Improvement Board Meeting**

**October 25, 2022, 5:30 p.m.**

#### **MINUTES**

The City of Milton Community Improvement Board meeting was called to order at 5:31 P.M. on October 25<sup>th</sup>, 2022. Present at the meeting were Chairwoman Cassandra Sharp, Board Members Ms. Brandi Bates, Ms. Deb Becker, Mr. Cole Brunner, and Mr. Sean McCool. City Staff present included Mr. Tim Milstead and Mrs. Melissa Short. City Councilwoman Shannon Rice was also present. These minutes are a synopsis of the actions taken at the meeting and are not intended as verbatim minutes.

- I. The meeting was called to order by Chairwoman Sharp at 5:31 p.m. She welcomed those in attendance. It was noted that a quorum was achieved.
- II. Chairwoman Sharp called for any additions, deletions, or changes to the meeting agenda. Ms. Bates made a motion to approve without objection. No objection was noted.
- III. Chairwoman Sharp called for any additions, deletions, or changes to the minutes of the previous meeting. Ms. Bates made a motion to approve the minutes as corrected without objection. No objection was noted.
- IV. Item # 2022-808: Chairwoman Sharp called on Mr. Milstead to review the language of the draft open container ordinance. He advised that this was a first draft as requested by the Board and no legal review had been completed at this time. Discussion followed. The areas that open containers would be allowed were discussed. Whom would be allowed to have open containers – customers taking drinks from establishments or general public. The Board requested Chief Tindell be invited to the next meeting to discuss the proposal from a law enforcement perspective. The Board received input from the public in attendance on this issue. The comments focused on “family atmosphere”, the Veteran’s Memorial and solemnness of that area, the size of the allowable area, concerns over residential properties along Canal and Henry Streets adjacent to allowable areas, and garbage. The Board agreed that the discussion would continue at the next meeting.

Item # 2022-809: Chairwoman Sharp called on Mr. Milstead to review the Residential Commercial Zoning District. Mr. Milstead gave an overview and reviewed the use matrix that detailed the allowable and prohibited uses in that zoning district. Discussion followed. The Board requested staff to bring back updated language and use matrix and to make sure the latest version of the Unified Development Code is available on the City’s website. Staff agreed. The Board received public

comment on this item.

- V. No additional public input was provided.
- VI. Old Business –Chairwoman Sharp requested an update on the garbage cans, benches and doggie poop bag stations at the next meeting.
- VII. New Business – None.
- VIII. With no further business to discuss, the meeting was adjourned at 6:31 p.m.

Respectfully submitted, Mr. Edward E. Spears, Economic Development Director



Agenda Item # 2022-1027

## Open Container Draft Ordinance

### MEETING DATE

November 29, 2022

### PREPARED BY

### BACKGROUND

### SUMMARY

### RECOMMENDATION

### ATTACHMENTS

1. CIB open cont 002
2. city-group-3-matrix-(population-3-000-14-999)2e929dc6c8d448cab9a74e73c3240c21
3. fy2023-highway-safety-matrix---group-iii-cities---12-17-21
4. ARTICLE\_I.\_\_\_\_IN\_GENERAL



## Milton Police Department

# Memo

**To:** Tim Milstead

Date: November 23, 2022

Planning Director

**From:** Chief Tony Tindell

**Subject:** CIB Open Container language

**AT-FY-23-002**

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This memo is in response to your email on 10/21/2022 listing changes being proposed by the Community Improvement Board to the existing open container section of our code Sec. 6-27.

The proposal to (b) which lists 10 exceptions causes me the most concern. Prior to the Open Container ordinance being adopted, we were experiencing high call volumes in public areas that included fights, littering, property damage, and drug sales. There were areas where it was common to have beer bottles thrown at our vehicles as we patrolled through. The implementation of this ordinance was a valuable instrument in correcting/stopping the described events.

During several of the monthly meetings, Councilman Vernon Compton has discussed the Florida of Transportation (FDOT) Complete Streets Implementation Plan. I have copied the following information from this plan.

For many years, state and national organizations used federal datasets to highlight the disproportionately high rates of pedestrian fatalities in Florida. A 2011 report issued by Transportation for America, a program of SGA, again found that Florida's streets were among the most dangerous in the nation for pedestrians. (1 Transportation for America. (2011). Dangerous by Design. <http://www.smartgrowthamerica.org/dangerous-by-design-2011>).

In response, FDOT launched a broad effort to proactively address the safety needs of all users of the transportation system. Former Secretary Ananth Prasad created Florida's Bicycle/Pedestrian Focused Initiative and tasked District One Secretary Billy Hattaway with championing it. Current FDOT Secretary Jim Boxold has pledged to continue and expand these efforts. Under Hattaway's leadership, FDOT and a coalition of partners from around the state are using a multidisciplinary approach to improve walking and bicycling safety that includes changing how streets are designed and built in Florida, updating policy and process, providing public education and outreach, and partnering with law enforcement (Pg 2).

Directions for pedestrian facilities include:

- Discuss basic needs of pedestrians in terms of network connectivity and safety, convenience and comfort of travel
- Expand guidance on sidewalk design, including integration of sidewalk zones (as described in the Florida Greenbook, Chapter 19: Traditional Neighborhood Development)
- Outline criteria for specific pedestrian treatments such as: – Pedestrian islands – Curb extensions – Pedestrian signalization – Crosswalks and midblock crossings (Pg A-5).

I reviewed the data concerning traffic flow from <https://www.fdot.gov/>.

The Annual Average Daily Traffic (AADT) from SR-87/Stewart ST to CR-191/Canal ST during 2021 was 22,500.

The AADT CR-191/Canal ST to Willing ST during 2021 was 18,500.

During the meetings Councilman Compton provides updates on the MIO Vision traffic program. The latest update indicated that the wait time in traffic from East Milton had decreased from 9 minutes to 5 minutes and 20 seconds, which was a 42% decrease. The first and second reviews indicated similar data, but the latest review indicated the time had increased to around 6 minutes.

With the information from FDOT involving the AADT and the MIO Vision updates, I am more concerned about pedestrian traffic because high amounts of vehicle traffic are being moved through the area at a quicker rate, in an effort to reduce traffic congestion from East Milton.

I have also reviewed the FY2022 and FY2023 Highway Safety Matrix – Ranking of Florida Cities <https://www.fdot.gov/Safety/grants/grants-forms.shtm>.

The county and city matrices were designed to provide traffic safety planners an objective data-driven tool to rank traffic safety projects. Both counties and cities are divided into three population groups. The numbers in each matrix represent where each county or city ranks within their population group in a particular program area, with "1" representing the highest fatality and serious injury volume. The rankings in the county and city matrices are based on volume of serious

injuries plus fatalities over a five-year period; in this case FY 2022 rankings reflect 2015 - 2019 data. FY 2023 rankings reflect 2016 – 2020 data. (Reports are attached).

The FY 2022 data for Milton indicates:

| <u>Category</u>          | <u>Rank</u> |
|--------------------------|-------------|
| Aging Road Users (65+)   | 6           |
| Distracted Driving       | 12          |
| Impaired Driving         | 6           |
| Motorcyclist             | 8           |
| Occupant Protection      | 6           |
| Pedestrian or Bicyclist  | 13          |
| Speed/Aggressive Driving | 2           |
| Teen Drivers             | 7           |
| Work Zones               | 6           |

The FY 2023 data for Milton indicates:

| <u>Category</u>          | <u>Rank</u> |
|--------------------------|-------------|
| Aging Road Users (65+)   | 8           |
| Distracted Driving       | 11          |
| Impaired Driving         | 7           |
| Motorcyclist             | 5           |
| Occupant Protection      | 7           |
| Pedestrian or Bicyclist  | 29          |
| Speed/Aggressive Driving | 2           |
| Teen Drivers             | 10          |
| Work Zones               | 6           |

The above data was compared to 118 cities with a population of 3,000 to 14,999. I understand that all of these crashes do not occur within the City of Milton but there is a good probability that many of the drivers involved do travel through the city.

The pedestrian or bicycle category has gained 16 places in the ranking order. The City of Milton has created many feet of sidewalk during the past few years in an effort to create safer pedestrian avenues and has an existing comprehensive plan to continue with this important project.

After reviewing the described data and having concerns for the effects that alcohol has on a person's reactionary/decision making process, I cannot support the proposed changes to the Open Container ordinance.

In reference to (c) which states, "Open containers are limited to only those containers provided by establishments in the City of Milton that are specifically approved by the Milton Chief of Police."

This item is not included in my area of expertise.

I would recommend that the Community Improvement Board develop a list of options to be presented to the City of Milton Council.



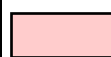
# FY2022 Highway Safety Matrix - Ranking of Florida Cities

(Based on total actual serious injuries and fatalities during 2015-2019)



Group III - Population of 3,000-14,999 - 118 Cities

| Florida City<br>(Group III) | Aging Road Users<br>(Drivers 65+) | Distracted Driving | Impaired Driving | Motorcyclists | Occupant Protection | Pedestrian or Bicyclist | Speeding or Aggressive<br>Driving | Teen Drivers | Work Zones | Florida City<br>(Group III) | Aging Road Users<br>(Drivers 65+) | Distracted Driving | Impaired Driving | Motorcyclists | Occupant Protection | Pedestrian or Bicyclist | Speeding or Aggressive<br>Driving | Teen Drivers | Work Zones |
|-----------------------------|-----------------------------------|--------------------|------------------|---------------|---------------------|-------------------------|-----------------------------------|--------------|------------|-----------------------------|-----------------------------------|--------------------|------------------|---------------|---------------------|-------------------------|-----------------------------------|--------------|------------|
| Alachua                     | 18                                | 21                 | 13               | 21            | 11                  | 59                      | 69                                | 19           | 30         | Longboat Key                | 18                                | 21                 | 13               | 21            | 11                  | 59                      | 69                                | 19           | 30         |
| Arcadia                     | 3                                 | 11                 | 3                | 2             | 2                   | 4                       | 15                                | 4            | 1          | Loxahatchee Groves          | 111                               | 117                | 116              | 105           | 83                  | 100                     | 99                                | 78           | 112        |
| Atlantic Beach              | 50                                | 47                 | 25               | 27            | 67                  | 22                      | 42                                | 43           | 49         | Macclenny                   | 64                                | 26                 | 45               | 74            | 23                  | 61                      | 75                                | 15           | 77         |
| Avon Park                   | 11                                | 19                 | 35               | 23            | 25                  | 30                      | 54                                | 35           | 21         | Madeira Beach               | 48                                | 66                 | 24               | 33            | 80                  | 29                      | 34                                | 110          | 100        |
| Bay Harbor Islands          | 107                               | 94                 | 104              | 111           | 90                  | 111                     | 90                                | 87           | 88         | Marathon                    | 13                                | 3                  | 28               | 10            | 30                  | 15                      | 18                                | 33           | 23         |
| Belle Isle                  | 106                               | 90                 | 98               | 109           | 104                 | 80                      | 73                                | 82           | 72         | Marianna                    | 14                                | 13                 | 12               | 57            | 5                   | 35                      | 22                                | 12           | 35         |
| Belleair                    | 108                               | 99                 | 81               | 102           | 112                 | 97                      | 112                               | 112          | 40         | Mary Esther                 | 68                                | 41                 | 82               | 86            | 95                  | 98                      | 82                                | 76           | 24         |
| Bellevue                    | 31                                | 44                 | 46               | 65            | 47                  | 65                      | 33                                | 39           | 93         | Mascotte                    | 97                                | 75                 | 103              | 99            | 45                  | 110                     | 27                                | 61           | 86         |
| Biscayne Park               | 118                               | 118                | 117              | 118           | 116                 | 116                     | 116                               | 117          | 115        | Melbourne Beach             | 71                                | 46                 | 42               | 77            | 118                 | 89                      | 117                               | 63           | 117        |
| Brooksville                 | 5                                 | 6                  | 15               | 7             | 8                   | 18                      | 14                                | 3            | 2          | Miami Shores                | 57                                | 88                 | 91               | 63            | 36                  | 27                      | 85                                | 58           | 60         |
| Bunnell                     | 70                                | 23                 | 41               | 13            | 50                  | 52                      | 29                                | 62           | 17         | Miami Springs               | 83                                | 80                 | 86               | 60            | 40                  | 43                      | 51                                | 49           | 48         |
| Callaway                    | 73                                | 34                 | 87               | 36            | 31                  | 46                      | 67                                | 50           | 50         | Midway                      | 81                                | 69                 | 48               | 103           | 56                  | 87                      | 36                                | 41           | 109        |
| Cape Canaveral              | 51                                | 71                 | 36               | 45            | 87                  | 28                      | 55                                | 54           | 62         | Milton                      | 6                                 | 12                 | 6                | 8             | 6                   | 13                      | 2                                 | 7            | 6          |
| Chipley                     | 44                                | 32                 | 66               | 68            | 20                  | 86                      | 98                                | 22           | 42         | Minneola                    | 112                               | 104                | 58               | 106           | 98                  | 107                     | 68                                | 64           | 53         |
| Clewiston                   | 29                                | 28                 | 17               | 17            | 14                  | 39                      | 39                                | 25           | 3          | Mount Dora                  | 35                                | 20                 | 85               | 95            | 59                  | 57                      | 101                               | 42           | 45         |
| Cocoa Beach                 | 28                                | 61                 | 60               | 20            | 51                  | 11                      | 53                                | 31           | 11         | Mulberry                    | 55                                | 59                 | 111              | 87            | 82                  | 67                      | 65                                | 77           | 41         |
| Crystal River               | 9                                 | 2                  | 84               | 5             | 21                  | 19                      | 8                                 | 10           | 43         | Neptune Beach               | 85                                | 40                 | 29               | 81            | 72                  | 54                      | 74                                | 83           | 74         |
| Dade City                   | 8                                 | 24                 | 75               | 14            | 27                  | 16                      | 58                                | 13           | 5          | Newberry                    | 39                                | 25                 | 9                | 53            | 12                  | 63                      | 21                                | 26           | 82         |
| Davenport                   | 33                                | 29                 | 22               | 39            | 28                  | 64                      | 91                                | 36           | 9          | Niceville                   | 16                                | 7                  | 68               | 26            | 13                  | 21                      | 7                                 | 8            | 46         |
| Daytona Beach Shores        | 80                                | 67                 | 40               | 29            | 81                  | 76                      | 35                                | 75           | 101        | North Bay Village           | 113                               | 107                | 93               | 107           | 100                 | 108                     | 104                               | 96           | 31         |
| DeFuniak Springs            | 20                                | 14                 | 39               | 24            | 10                  | 50                      | 4                                 | 27           | 15         | North Palm Beach            | 56                                | 27                 | 90               | 62            | 86                  | 36                      | 43                                | 66           | 55         |
| Destin                      | 36                                | 15                 | 20               | 35            | 26                  | 6                       | 16                                | 34           | 7          | Oakland                     | 82                                | 60                 | 57               | 90            | 115                 | 78                      | 84                                | 116          | 113        |
| Dundee                      | 100                               | 85                 | 108              | 114           | 109                 | 106                     | 110                               | 108          | 98         | Okeechobee                  | 23                                | 58                 | 78               | 25            | 33                  | 49                      | 62                                | 48           | 37         |
| Fellsmere                   | 98                                | 84                 | 77               | 113           | 108                 | 103                     | 79                                | 74           | 36         | Oldsmar                     | 32                                | 33                 | 32               | 47            | 84                  | 42                      | 41                                | 23           | 25         |
| Fernandina Beach            | 38                                | 70                 | 50               | 41            | 61                  | 69                      | 52                                | 44           | 52         | Orange City                 | 22                                | 18                 | 43               | 12            | 43                  | 8                       | 10                                | 24           | 20         |
| Flagler Beach               | 67                                | 78                 | 56               | 32            | 79                  | 75                      | 94                                | 89           | 38         | Orange Park                 | 53                                | 38                 | 14               | 30            | 42                  | 9                       | 57                                | 20           | 65         |
| Florida City                | 27                                | 53                 | 69               | 11            | 41                  | 5                       | 11                                | 30           | 18         | Pahokee                     | 104                               | 77                 | 79               | 85            | 92                  | 93                      | 93                                | 106          | 91         |
| Fort Meade                  | 115                               | 112                | 64               | 112           | 77                  | 84                      | 92                                | 73           | 90         | Palatka                     | 46                                | 43                 | 8                | 78            | 17                  | 37                      | 13                                | 18           | 22         |
| Fort Myers Beach            | 40                                | 65                 | 10               | 46            | 38                  | 41                      | 31                                | 84           | 83         | Palm Beach                  | 42                                | 49                 | 95               | 72            | 102                 | 32                      | 71                                | 70           | 67         |
| Freeport                    | 49                                | 52                 | 65               | 34            | 49                  | 94                      | 24                                | 29           | 39         | Palmetto                    | 1                                 | 8                  | 2                | 3             | 4                   | 3                       | 9                                 | 2            | 4          |
| Frostproof                  | 92                                | 79                 | 49               | 92            | 39                  | 115                     | 50                                | 79           | 114        | Panama City Beach           | 15                                | 10                 | 4                | 1             | 7                   | 1                       | 3                                 | 5            | 26         |
| Fruitland Park              | 26                                | 48                 | 92               | 48            | 32                  | 79                      | 45                                | 32           | 12         | Parker                      | 90                                | 42                 | 112              | 88            | 66                  | 77                      | 83                                | 113          | 106        |
| Grant-Valkaria              | 116                               | 114                | 109              | 115           | 111                 | 112                     | 111                               | 111          | 102        | Pembroke Park               | 78                                | 74                 | 101              | 38            | 75                  | 48                      | 61                                | 38           | 8          |
| Green Cove Springs          | 76                                | 39                 | 37               | 73            | 54                  | 70                      | 72                                | 71           | 13         | Perry                       | 63                                | 73                 | 63               | 50            | 37                  | 44                      | 59                                | 45           | 76         |
| Gulf Breeze                 | 21                                | 31                 | 54               | 56            | 46                  | 55                      | 78                                | 47           | 34         | Ponce Inlet                 | 102                               | 103                | 118              | 93            | 117                 | 117                     | 100                               | 118          | 116        |
| Gulfport                    | 74                                | 106                | 34               | 43            | 63                  | 53                      | 37                                | 81           | 56         | Port Saint Joe              | 69                                | 86                 | 67               | 76            | 55                  | 99                      | 114                               | 92           | 108        |
| High Springs                | 86                                | 50                 | 52               | 98            | 74                  | 82                      | 60                                | 103          | 84         | Quincy                      | 84                                | 72                 | 18               | 80            | 29                  | 72                      | 40                                | 100          | 71         |
| Highland Beach              | 117                               | 115                | 113              | 117           | 113                 | 113                     | 113                               | 114          | 107        | Saint Augustine             | 17                                | 9                  | 27               | 4             | 19                  | 2                       | 5                                 | 11           | 47         |
| Hilliard                    | 72                                | 87                 | 31               | 94            | 58                  | 118                     | 118                               | 80           | 118        | Saint Augustine Beach       | 103                               | 92                 | 76               | 52            | 89                  | 81                      | 87                                | 60           | 80         |
| Holly Hill                  | 34                                | 55                 | 71               | 19            | 99                  | 12                      | 38                                | 57           | 57         | Saint Pete Beach            | 41                                | 57                 | 21               | 70            | 71                  | 38                      | 46                                | 95           | 63         |
| Holmes Beach                | 89                                | 100                | 83               | 67            | 96                  | 85                      | 97                                | 91           | 105        | Sanibel                     | 59                                | 110                | 99               | 97            | 73                  | 62                      | 76                                | 102          | 79         |
| Indian Harbour Beach        | 62                                | 82                 | 94               | 71            | 101                 | 47                      | 70                                | 97           | 66         | Satellite Beach             | 75                                | 56                 | 72               | 79            | 70                  | 31                      | 86                                | 68           | 29         |
| Indian River Shores         | 101                               | 98                 | 110              | 116           | 94                  | 95                      | 96                                | 90           | 103        | Sebring                     | 2                                 | 4                  | 7                | 9             | 3                   | 14                      | 17                                | 6            | 28         |
| Indian Rocks Beach          | 79                                | 97                 | 23               | 66            | 110                 | 66                      | 95                                | 109          | 99         | South Bay                   | 91                                | 102                | 30               | 91            | 57                  | 68                      | 49                                | 94           | 44         |
| Indiantown                  | 96                                | 93                 | 100              | 82            | 64                  | 91                      | 88                                | 72           | 81         | South Daytona               | 25                                | 22                 | 59               | 16            | 68                  | 23                      | 20                                | 52           | 27         |
| Inverness                   | 7                                 | 5                  | 44               | 15            | 15                  | 33                      | 19                                | 14           | 73         | South Miami                 | 37                                | 54                 | 88               | 61            | 85                  | 25                      | 102                               | 56           | 51         |
| Islamorada                  | 60                                | 35                 | 16               | 54            | 44                  | 45                      | 89                                | 46           | 14         | South Pasadena              | 47                                | 37                 | 55               | 59            | 93                  | 74                      | 23                                | 88           | 97         |
| Juno Beach                  | 109                               | 116                | 114              | 104           | 97                  | 88                      | 115                               | 93           | 110        | Southwest Ranches           | 114                               | 109                | 97               | 108           | 103                 | 109                     | 106                               | 99           | 70         |
| Kenneth City                | 61                                | 96                 | 80               | 101           | 34                  | 56                      | 28                                | 21           | 95         | Springfield                 | 54                                | 63                 | 74               | 64            | 22                  | 71                      | 12                                | 55           | 69         |
| Key Biscayne                | 93                                | 30                 | 89               | 69            | 60                  | 58                      | 103                               | 51           | 19         | Starke                      | 30                                | 36                 | 11               | 28            | 16                  | 51                      | 32                                | 28           | 16         |
| LaBelle                     | 43                                | 51                 | 26               | 58            | 48                  | 20                      | 81                                | 40           | 96         | Surfside                    | 88                                | 95                 | 105              | 100           | 91                  | 83                      | 109                               | 104          | 33         |
| Lake Alfred                 | 65                                | 76                 | 53               | 55            | 76                  | 73                      | 48                                | 86           | 87         | Tequesta                    | 66                                | 83                 | 106              | 84            | 65                  | 102                     | 77                                | 105          | 89         |
| Lake City                   | 4                                 | 1                  | 1                | 6             | 1                   | 10                      | 1                                 | 1            | 58         | Treasure Island             | 77                                | 64                 | 38               | 51            | 106                 | 40                      | 47                                | 59           | 32         |
| Lake Clarke Shores          | 110                               | 101                | 115              | 89            | 114                 | 114                     | 66                                | 115          | 111        | Umatilla                    | 24                                | 68                 | 47               | 40            | 24                  | 96                      | 64                                | 17           | 104        |
| Lake Park                   | 52                                | 89                 | 73               | 49            | 53                  | 60                      | 56                                | 37           | 64         | Valparaiso                  | 99                                | 113                | 107              | 75            | 78                  | 104                     | 63                                | 107          | 92         |
| Lantana                     | 94                                | 81                 | 51               | 44            | 69                  | 26                      | 30                                | 67           | 59         | Wauchula                    | 12                                | 45                 | 19               | 31            | 18                  | 105                     | 80                                | 9            | 94         |
| Lauderdale-By-The-Sea       | 87                                | 111                | 102              | 83            | 107                 | 92                      | 108                               | 85           | 85         | West Miami                  | 105                               | 108                | 96               | 96            | 88                  | 101                     | 105                               | 98           | 68         |
| Lighthouse Point            | 58                                | 62                 | 61               | 22            | 52                  | 17                      | 44                                | 69           | 61         | Wildwood                    | 10                                | 16                 | 33               | 18            | 35                  | 24                      | 26                                | 53           | 10         |
| Live Oak                    | 19                                | 17                 | 5                | 37            | 9                   | 34                      | 6                                 | 16           | 78         | Wilton Manors               | 45                                | 105                | 70               | 42            | 62                  | 7                       | 25                                | 65           | 54         |



## Legend

Highest 25% in a category.

The information above has been compiled from information collected for the purpose of identifying, evaluating or planning safety enhancements that may be implemented utilizing federal funds. Any document displaying this notice shall be used only for the purposes deemed appropriate by the Florida Dept. of Transportation. See Title 23, United States Code, Section 409.



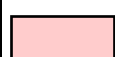
# FY2023 Highway Safety Matrix - Ranking of Florida Cities

(Based on total actual serious injuries and fatalities during 2016-2020)



Group III - Population of 3,000-14,999 - 118 Cities

| Florida City<br>(Group III) | Aging Road Users<br>(Drivers 65+) | Distracted Driving | Impaired Driving | Motorcyclists | Occupant Protection | Pedestrian or Bicyclist | Speeding or Aggressive<br>Driving | Teen Drivers | Work Zones | Florida City<br>(Group III) | Aging Road Users<br>(Drivers 65+) | Distracted Driving | Impaired Driving | Motorcyclists | Occupant Protection | Pedestrian or Bicyclist | Speeding or Aggressive<br>Driving | Teen Drivers | Work Zones |
|-----------------------------|-----------------------------------|--------------------|------------------|---------------|---------------------|-------------------------|-----------------------------------|--------------|------------|-----------------------------|-----------------------------------|--------------------|------------------|---------------|---------------------|-------------------------|-----------------------------------|--------------|------------|
| Alachua                     | 17                                | 16                 | 12               | 17            | 13                  | 51                      | 36                                | 21           | 26         | Longboat Key                | 100                               | 84                 | 64               | 107           | 101                 | 98                      | 104                               | 101          | 68         |
| Arcadia                     | 4                                 | 12                 | 3                | 2             | 2                   | 3                       | 45                                | 5            | 1          | Loxahatchee Groves          | 111                               | 116                | 115              | 116           | 61                  | 96                      | 96                                | 70           | 111        |
| Atlantic Beach              | 47                                | 69                 | 29               | 35            | 93                  | 31                      | 82                                | 46           | 40         | Macclenny                   | 56                                | 25                 | 43               | 72            | 26                  | 87                      | 73                                | 15           | 67         |
| Avon Park                   | 14                                | 20                 | 48               | 27            | 17                  | 33                      | 53                                | 57           | 17         | Madeira Beach               | 67                                | 60                 | 19               | 30            | 67                  | 40                      | 23                                | 111          | 97         |
| Bay Harbor Islands          | 115                               | 109                | 75               | 109           | 105                 | 101                     | 107                               | 82           | 81         | Malabar                     | 62                                | 40                 | 18               | 42            | 52                  | 79                      | 26                                | 24           | 117        |
| Belle Isle                  | 105                               | 83                 | 72               | 106           | 83                  | 80                      | 71                                | 76           | 63         | Marathon                    | 15                                | 7                  | 26               | 8             | 30                  | 12                      | 55                                | 30           | 19         |
| Belleair                    | 109                               | 94                 | 78               | 98            | 110                 | 92                      | 112                               | 87           | 101        | Marianna                    | 10                                | 15                 | 11               | 29            | 10                  | 36                      | 22                                | 9            | 10         |
| Bellevue                    | 34                                | 50                 | 52               | 62            | 60                  | 61                      | 33                                | 44           | 88         | Mary Esther                 | 76                                | 45                 | 79               | 90            | 90                  | 93                      | 80                                | 113          | 102        |
| Biscayne Park               | 118                               | 118                | 118              | 118           | 116                 | 118                     | 116                               | 118          | 114        | Mascotte                    | 83                                | 43                 | 73               | 108           | 45                  | 100                     | 12                                | 59           | 78         |
| Brooksville                 | 5                                 | 8                  | 6                | 6             | 3                   | 14                      | 29                                | 6            | 5          | Melbourne Beach             | 68                                | 35                 | 36               | 68            | 117                 | 78                      | 117                               | 61           | 115        |
| Bunnell                     | 60                                | 24                 | 45               | 11            | 16                  | 57                      | 24                                | 53           | 12         | Miami Shores                | 63                                | 81                 | 87               | 81            | 29                  | 34                      | 54                                | 49           | 50         |
| Callaway                    | 69                                | 28                 | 66               | 43            | 33                  | 50                      | 50                                | 45           | 38         | Miami Springs               | 81                                | 79                 | 83               | 55            | 47                  | 37                      | 51                                | 54           | 39         |
| Cape Canaveral              | 64                                | 66                 | 42               | 38            | 73                  | 42                      | 41                                | 50           | 53         | Midway                      | 79                                | 53                 | 46               | 99            | 50                  | 95                      | 25                                | 38           | 108        |
| Chipley                     | 54                                | 46                 | 81               | 67            | 27                  | 106                     | 94                                | 29           | 34         | Milton                      | 8                                 | 11                 | 7                | 5             | 7                   | 29                      | 2                                 | 10           | 6          |
| Clewiston                   | 23                                | 37                 | 21               | 19            | 19                  | 35                      | 31                                | 41           | 4          | Minneola                    | 112                               | 100                | 58               | 102           | 94                  | 107                     | 98                                | 93           | 42         |
| Cocoa Beach                 | 26                                | 63                 | 62               | 18            | 54                  | 23                      | 67                                | 48           | 8          | Mulberry                    | 44                                | 61                 | 109              | 89            | 68                  | 64                      | 62                                | 86           | 33         |
| Crystal River               | 7                                 | 3                  | 56               | 4             | 28                  | 15                      | 9                                 | 12           | 21         | Neptune Beach               | 82                                | 33                 | 27               | 71            | 74                  | 72                      | 72                                | 100          | 66         |
| Dade City                   | 12                                | 42                 | 94               | 13            | 25                  | 25                      | 56                                | 14           | 62         | Newberry                    | 41                                | 23                 | 8                | 28            | 21                  | 46                      | 15                                | 22           | 72         |
| Davenport                   | 36                                | 21                 | 31               | 49            | 23                  | 53                      | 84                                | 27           | 65         | Niceville                   | 11                                | 2                  | 57               | 24            | 14                  | 21                      | 5                                 | 3            | 37         |
| Daytona Beach Shores        | 75                                | 52                 | 34               | 22            | 66                  | 56                      | 21                                | 60           | 96         | North Bay Village           | 113                               | 103                | 89               | 103           | 97                  | 108                     | 101                               | 96           | 27         |
| DeFuniak Springs            | 22                                | 13                 | 33               | 23            | 11                  | 20                      | 3                                 | 32           | 20         | North Palm Beach            | 49                                | 19                 | 60               | 56            | 63                  | 32                      | 35                                | 73           | 45         |
| Destin                      | 28                                | 6                  | 20               | 31            | 34                  | 4                       | 10                                | 20           | 2          | Oakland                     | 77                                | 77                 | 55               | 91            | 111                 | 77                      | 81                                | 90           | 105        |
| Dundee                      | 84                                | 68                 | 105              | 112           | 87                  | 105                     | 109                               | 108          | 90         | Okeechobee                  | 33                                | 49                 | 76               | 41            | 32                  | 75                      | 59                                | 28           | 85         |
| Fellsmere                   | 94                                | 74                 | 77               | 111           | 106                 | 111                     | 77                                | 69           | 32         | Oldsmar                     | 31                                | 47                 | 38               | 54            | 62                  | 41                      | 40                                | 33           | 22         |
| Fernandina Beach            | 37                                | 99                 | 67               | 36            | 48                  | 66                      | 34                                | 35           | 41         | Orange City                 | 19                                | 17                 | 41               | 9             | 43                  | 5                       | 7                                 | 25           | 16         |
| Flagler Beach               | 53                                | 75                 | 54               | 25            | 77                  | 90                      | 79                                | 109          | 94         | Orange Park                 | 65                                | 41                 | 17               | 33            | 40                  | 8                       | 30                                | 18           | 59         |
| Florida City                | 25                                | 70                 | 68               | 14            | 41                  | 6                       | 8                                 | 39           | 14         | Pahokee                     | 101                               | 89                 | 103              | 77            | 107                 | 89                      | 90                                | 106          | 86         |
| Fort Meade                  | 108                               | 110                | 65               | 97            | 58                  | 82                      | 89                                | 83           | 84         | Palatka                     | 29                                | 36                 | 16               | 57            | 9                   | 19                      | 18                                | 26           | 51         |
| Fort Myers Beach            | 30                                | 59                 | 9                | 61            | 35                  | 47                      | 38                                | 78           | 77         | Palm Beach                  | 40                                | 29                 | 71               | 70            | 99                  | 24                      | 70                                | 66           | 28         |
| Freeport                    | 52                                | 48                 | 102              | 40            | 49                  | 102                     | 32                                | 31           | 31         | Palmetto                    | 2                                 | 14                 | 2                | 3             | 4                   | 2                       | 13                                | 2            | 3          |
| Frostproof                  | 102                               | 96                 | 114              | 93            | 92                  | 115                     | 115                               | 115          | 110        | Panama City Beach           | 13                                | 9                  | 4                | 1             | 5                   | 1                       | 4                                 | 4            | 13         |
| Fruitland Park              | 27                                | 67                 | 88               | 32            | 44                  | 68                      | 42                                | 51           | 18         | Parker                      | 86                                | 39                 | 110              | 66            | 69                  | 94                      | 63                                | 89           | 104        |
| Grant-Valkaria              | 116                               | 112                | 107              | 113           | 108                 | 112                     | 110                               | 110          | 95         | Pembroke Park               | 73                                | 87                 | 98               | 76            | 76                  | 48                      | 105                               | 79           | 7          |
| Green Cove Springs          | 51                                | 30                 | 30               | 48            | 64                  | 58                      | 44                                | 67           | 9          | Perry                       | 57                                | 57                 | 32               | 73            | 24                  | 44                      | 57                                | 36           | 69         |
| Gulf Breeze                 | 21                                | 27                 | 44               | 51            | 46                  | 54                      | 58                                | 43           | 30         | Ponce Inlet                 | 103                               | 98                 | 117              | 117           | 115                 | 117                     | 97                                | 117          | 113        |
| Gulfport                    | 50                                | 80                 | 40               | 37            | 72                  | 27                      | 52                                | 74           | 46         | Port Richey                 | 9                                 | 26                 | 37               | 16            | 78                  | 11                      | 39                                | 17           | 36         |
| High Springs                | 91                                | 71                 | 51               | 75            | 85                  | 88                      | 74                                | 103          | 76         | Port Saint Joe              | 78                                | 113                | 111              | 92            | 38                  | 113                     | 113                               | 91           | 106        |
| Highland Beach              | 117                               | 114                | 112              | 115           | 112                 | 114                     | 114                               | 114          | 107        | Quincy                      | 71                                | 56                 | 14               | 83            | 31                  | 71                      | 37                                | 75           | 61         |
| Hilliard                    | 61                                | 78                 | 24               | 101           | 51                  | 97                      | 118                               | 72           | 116        | Saint Augustine Beach       | 106                               | 85                 | 95               | 74            | 84                  | 81                      | 86                                | 58           | 73         |
| Holly Hill                  | 32                                | 32                 | 69               | 20            | 80                  | 10                      | 27                                | 63           | 47         | Saint Pete Beach            | 70                                | 54                 | 25               | 58            | 96                  | 43                      | 43                                | 95           | 54         |
| Holmes Beach                | 97                                | 95                 | 80               | 65            | 91                  | 84                      | 93                                | 88           | 103        | Sanibel                     | 46                                | 107                | 96               | 96            | 103                 | 73                      | 87                                | 102          | 74         |
| Indian Harbour Beach        | 89                                | 105                | 92               | 82            | 98                  | 52                      | 69                                | 98           | 58         | Satellite Beach             | 88                                | 64                 | 86               | 95            | 81                  | 28                      | 83                                | 94           | 25         |
| Indian River Shores         | 96                                | 92                 | 108              | 114           | 89                  | 91                      | 92                                | 85           | 98         | Sebring                     | 1                                 | 5                  | 15               | 10            | 6                   | 18                      | 17                                | 7            | 24         |
| Indian Rocks Beach          | 85                                | 93                 | 23               | 64            | 109                 | 63                      | 111                               | 112          | 100        | South Bay                   | 80                                | 117                | 47               | 94            | 70                  | 65                      | 65                                | 71           | 35         |
| Indiantown                  | 90                                | 86                 | 97               | 84            | 75                  | 99                      | 88                                | 77           | 75         | South Daytona               | 18                                | 18                 | 59               | 15            | 95                  | 16                      | 16                                | 47           | 23         |
| Inverness                   | 6                                 | 4                  | 49               | 12            | 15                  | 30                      | 19                                | 11           | 64         | South Miami                 | 38                                | 101                | 85               | 44            | 79                  | 22                      | 100                               | 56           | 43         |
| Islamorada                  | 66                                | 34                 | 10               | 50            | 56                  | 39                      | 75                                | 42           | 29         | South Pasadena              | 59                                | 91                 | 53               | 79            | 88                  | 62                      | 91                                | 84           | 93         |
| Juno Beach                  | 110                               | 115                | 113              | 100           | 113                 | 85                      | 95                                | 92           | 109        | Southwest Ranches           | 114                               | 106                | 93               | 105           | 100                 | 109                     | 103                               | 99           | 60         |
| Kenneth City                | 58                                | 90                 | 106              | 88            | 37                  | 76                      | 20                                | 23           | 92         | Springfield                 | 45                                | 55                 | 70               | 59            | 18                  | 69                      | 11                                | 52           | 55         |
| Key Biscayne                | 99                                | 31                 | 84               | 69            | 71                  | 67                      | 99                                | 55           | 15         | Starke                      | 42                                | 38                 | 13               | 34            | 12                  | 55                      | 47                                | 34           | 11         |
| LaBelle                     | 43                                | 51                 | 28               | 63            | 36                  | 17                      | 61                                | 37           | 91         | Surfside                    | 93                                | 88                 | 100              | 110           | 86                  | 74                      | 108                               | 104          | 82         |
| Lake Alfred                 | 107                               | 72                 | 74               | 85            | 57                  | 59                      | 46                                | 80           | 79         | Tequesta                    | 74                                | 73                 | 101              | 87            | 65                  | 110                     | 76                                | 105          | 83         |
| Lake City                   | 3                                 | 1                  | 1                | 7             | 1                   | 7                       | 1                                 | 1            | 49         | Treasure Island             | 72                                | 58                 | 50               | 60            | 102                 | 38                      | 85                                | 68           | 70         |
| Lake Clarke Shores          | 98                                | 97                 | 115              | 80            | 114                 | 116                     | 64                                | 116          | 111        | Umatilla                    | 24                                | 76                 | 35               | 26            | 20                  | 83                      | 48                                | 19           | 99         |
| Lake Park                   | 39                                | 82                 | 91               | 47            | 39                  | 70                      | 68                                | 40           | 57         | Valparaiso                  | 95                                | 111                | 104              | 78            | 59                  | 103                     | 60                                | 107          | 87         |
| Lantana                     | 87                                | 62                 | 61               | 46            | 53                  | 26                      | 28                                | 64           | 48         | Wauchula                    | 16                                | 44                 | 22               | 52            | 8                   | 104                     | 78                                | 8            | 89         |
| Lauderdale-By-The-Sea       | 92                                | 108                | 99               | 86            | 104                 | 60                      | 106                               | 81           | 80         | West Miami                  | 104                               | 104                | 90               | 104           | 82                  | 86                      | 102                               | 97           | 56         |
| Lighthouse Point            | 35                                | 65                 | 63               | 21            | 55                  | 13                      | 14                                | 65           | 52         | Wilton Manors               | 48                                | 102                | 39               | 45            | 42                  | 9                       | 66                                | 62           | 44         |
| Live Oak                    | 20                                | 22                 | 5                | 39            | 22                  | 45                      | 6                                 | 16           | 71         | Windermere                  | 55                                | 10                 | 82               | 53            | 118                 | 49                      | 49                                | 13           | 118        |



## Legend

Highest 25% in a category.

The information above has been compiled from information collected for the purpose of identifying, evaluating or planning safety enhancements that may be implemented utilizing federal funds. Any document displaying this notice shall be used only for the purposes deemed appropriate by the Florida Dept. of Transportation. See Title 23, United States Code, Section 409.

## **ARTICLE I. IN GENERAL**

### **Sec. 3-1. Definitions.**

The definition of intoxicating liquors, wines or beers shall be the same herein as the definitions set forth in the Florida Statutes.

(Ord. No. 459, § 2, 1-13-81)

Cross reference(s)—Definitions and rules of construction generally, § 1-2.

State law reference(s)—Alcoholic beverage code, F.S. Ch. 561 et seq.

### **Sec. 3-2. Establishment's proximity to church or school.**

- (a) The sale of alcoholic beverages for on-premise consumption is prohibited by a business located within five hundred (500) feet of a lot or parcel of land on which a school or church is located.
- (b) The distance of five hundred (500) feet from an established school or church shall be measured by following the shortest route of ordinary pedestrian travel along the public thoroughfare from the main entrance of the place of business to the nearest property line of the school or church grounds.
- (c) The distance requirements do not pertain to vendors solely handling alcoholic beverages for consumption off premises.

(Ord. No. 459, § 3, 1-13-81; Ord. No. 09-04-01, 4-14-09)

State law reference(s)—Authority to regulate location of business, F.S. § 562.45(2).

### **Sec. 3-3. Hours of sale.**

No licensed place of business shall sell any alcoholic beverages, regardless of the alcoholic contents, between the hours of 4:00 a.m. and 7:00 a.m. During any other portion of the day, alcoholic beverages may be sold by licensees. All businesses licensed to sell alcoholic beverages, including, but not limited to, beer and wine, shall be governed in accord with these provisions.

(Ord. No. 459, § 4, 1-13-81; Ord. No. 20-10-02, § 2, 10-13-20)

Cross reference(s)—Licenses and business regulations, Ch. 12.

State law reference(s)—Authority to regulate hours of sale, F.S. §§ 562.14(1) and 562.45(2).

### **Sec. 3-4. Open containers, prohibited in parking lots.**

- (a) *Title.* This section shall be known as the Open Container Ordinance and may be referred to by that title.
- (b) *Alcoholic beverages defined.* Throughout this section, the term alcoholic beverages shall mean all beverages containing more than one (1) percent of alcohol by weight.

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- (c) *Prohibition.* It shall be unlawful for any person to consume any alcoholic beverage as business invitees in parking lots, except within the building which is the address of the person holding a license for the sale or consumption of such alcoholic beverages on the premises.
- (d) *Penalty for violation.* Any person guilty of violating any of the provisions of this section shall be guilty of a misdemeanor of the second degree and upon conviction shall be punished according to the provisions of Chapter 775 Florida Statutes. A fine in lieu of the imprisonment authorized by Chapter 775 Florida Statutes and this section may be imposed pursuant to such statute.

(Ord. No. 607-A, §§ 1—4, 12-9-86)

Editor's note(s)—Nonamendatory Ord. No. 607-A, §§ 1—4, adopted Dec. 9, 1986, prohibiting consumption from open containers in parking lots, has been codified as § 3-4.

Cross reference(s)—Offenses generally, Ch. 13.

**Secs. 3-5—3-15. Reserved.**



Agenda Item # 2022-1028

## Residential Commercial Zoning District

### MEETING DATE

November 29, 2022

### PREPARED BY

### BACKGROUND

### SUMMARY

### RECOMMENDATION

### ATTACHMENTS

1. 6.3 Commercial District Standards - Draft
2. MiltonFLCodeofOrdinances Commercial District Standards

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## 6.3 COMMERCIAL DISTRICT STANDARDS

### A. Purpose Statements.

- (1) *C-1 Neighborhood Commercial Zoning District.* The C-1 Neighborhood Commercial District is intended to accommodate local non-residential uses that predominantly serve the needs of the nearby residential neighborhoods. They should be similar in character of the surrounding residential neighborhood. Apartment Complexes and single-family residential dwelling units may be allowed above the ground floor upon development authority approval. The purpose of this district is to allow for the full development of commercial uses while protecting nearby residential properties from the adverse effects of commercial activities. [Multi-family development shall adhere to the standards required in the R-3 Zoning District.](#)
- (2) *C-2 General Commercial Zoning District.* The C-2 General Commercial Zoning District is intended to accommodate those lands and structures used to provide for the retail of commodities and furnishings of selected services, trades and other commercial enterprises within the Planning Area. The C-2 District addresses primarily auto-oriented retail, both individual businesses and retail centers, with the intent of improving the pedestrian environment along the existing corridors. Limited mixed-use development with residential dwelling units above the ground floor and higher density, multi-family residential development may be allowed upon development authority approval. [Multi-family development shall adhere to the standards required in the R-3 Zoning District.](#)
- (3) *C-3 High Intensity Commercial Zoning District.* The purpose of the C-3 High Intensity Commercial Zoning District is to accommodate regional commercial centers, wholesale distribution, storage, and light manufacturing. The C-3 District provides for large-scale development that may generate a sizeable amount of traffic and typically requires significant off-street parking. High density multi-family development is allowed and shall adhere to the standards required in the R-3 Zoning District.

### B. General Commercial Districts Dimensional Standards.

- (1) *Exception to Front Building Line Setback.*
  - a. Where the construction of a commercial structure is proposed within 50 feet of an existing commercial structure(s) and where the existing commercial structure(s) have been constructed at less than the minimum or maximum required front yard setback, then the development approval authority may permit construction of the proposed structure with a front yard setback less or greater than that required by these regulations; provided that the allowed setback is consistent with the average setback of the existing adjacent structures.
- (2) *Ground floor area limitation.*
  - a. New commercial buildings may not exceed 100,000 gross square feet in ground floor area.
  - b. New commercial buildings greater than 50,000 gross square feet must obtain special exception approval as identified in Article 3. In determining whether to grant an increase in ground floor size beyond 50,000 square feet, the board of adjustment and city council shall consider the following factors:
    - i. The site has safe, immediate access to Highway 87, 89, and/or 90.
    - ii. The building site will provide convenient interconnections with adjacent uses and properties that serve both pedestrians and automobiles.
    - iii. The architectural design of the building reduces the perceived size of the building by appropriate articulations and variations in the massing, façade, roofline, materials, colors, and textures of the building exterior.

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- iv. The building and site meets or exceeds all other standards set forth in this section and by this Unified Development Code.
  - v. The owner/developer shall be required to reclaim the site for other development purposes if the facility is abandoned/unused for a period of 24 months.

(3) *Building height.*

- a. Where permitted in a district, non-residential buildings may be increased in height; provided that the building is set back from all yard lines one additional foot for each three feet such building exceeds the height limit of the zoning district in which the building is located. However, no such structure shall exceed five stories or 60 feet in height, except as provided in Subsection 4.2(K). Height increase above those indicated in the underlying zoning district provided in section 6.3(C) may require Board of Adjustment approval.
- b. Any building of which 50 percent or more is located within 250 feet of the centerline of an arterial street shall be no more than three stories in height. A relief from height restrictions shall only be allowed if special-use variance approval is granted by the Board of Adjustments, in accordance with procedures in Article 3.
- c. In deciding whether to grant a height increase, the Board shall consider the following factors and others:
  - i. Proximity and relationship of the proposed building to other buildings.
  - ii. Fire and Life Safety.
  - iii. Impact of the proposed building on single-family residences on nearby tracts.
  - iv. Topography and vegetation that screen the view of the proposed building.
  - v. On-site screening and/or landscaped buffers.
  - vi. Provision of public open space in exchange for increased building height.
  - vii. The effect of additional building height on traffic congestion.
  - viii. Access of the site to major traffic arteries.
  - ix. Economic development opportunities for the city.
  - x. The necessity of greater building height to the function of the proposed use.
  - xi. The quality of the architectural design and its compatibility with its surroundings.

(4) *Residential Standards for the C-1, C-2 and C-3 Commercial Districts.* Residential subdivisions, where allowed, shall comply with the yard requirements of the underlying zoning district, the requirements of Subsection 6.2(E)(4), all applicable standards of this code relating to landscaping, access management, parking, stormwater and other, as well as the following requirements:

- a. Reverse-fronting lots are required for residential subdivisions along streets classified as arterials or collectors, subject to subsection (4)(b) of this section. Reverse-fronting residential lots shall be platted with a landscaped access easement, meeting the requirements of Subsection 12.5, restricting vehicular access placed adjacent to the public right-of-way. Such easement shall be a minimum of 20 feet in depth and include one of the following:
  - i. A continuous four-foot high solid wall constructed entirely of brick or stone masonry with decorative elements to include material and color changes, trim, and coping.
  - ii. A four- to six-foot high fence constructed of a combination of brick or stone masonry pillars with iron pickets.

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iii. A four- to six-foot high wood privacy fence with a vegetated strip of canopy trees, shrubs, and groundcover that provide a full landscape buffer in front of the fence.

- b. If a residential lot is separated from the arterial or collector street by a minimum 20-foot wide landscaped strip and a residential street, a residential lot may face an arterial or a collector street. Multi-family development shall be required to install a network of sidewalks and walkways which connect to required common space and to existing sidewalks at each entrance/exit to the development.

If no such sidewalks exist, the development shall be required [to] install a minimum five (5) [foot] wide sidewalk the entire length of the development which abuts a public right-of-way. New multi-family developments shall be required to meet the multi-family dimensional standards found in table 6.2.1. Multi-family developments in these districts shall also be required to meet all parking, landscaping and access management standards, and these standards shall apply when in conflict with table 6.2.1.

(5) *Lot Standards.*

- a. Lots should be rectangular in shape with a ratio of depth to frontage of 4:1.

- C. **Dimensional Standards.** Table 6.3.1: Commercial Districts Dimensional Standards for Non-Residential Structures establishes the dimensional standards for structures with no residential component in the commercial districts. These regulations apply to all uses within each district unless a different standard is listed for a specific use. Section 6.3.D has additional design standards that apply to development within the districts.

**Table 6.3.1. Commercial District Dimensional Standards for Non-Residential Uses.**

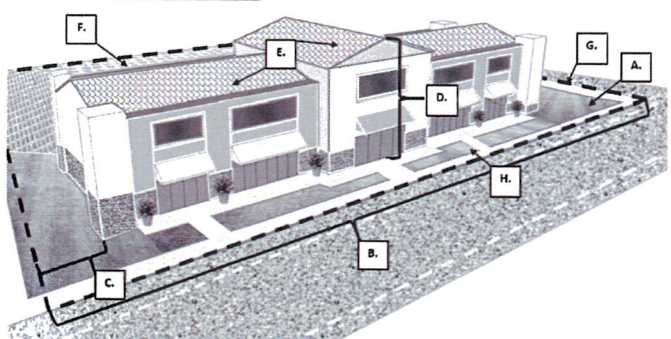
|                                      | C-1                                                                             | C-2                                                                             | C-3                                                                             |
|--------------------------------------|---------------------------------------------------------------------------------|---------------------------------------------------------------------------------|---------------------------------------------------------------------------------|
| <b>BULK</b>                          |                                                                                 |                                                                                 |                                                                                 |
| <b>Minimum Lot Area</b>              | None                                                                            | ¼ Acre (10,890 sf)                                                              | 20,000 sf                                                                       |
| <b>Minimum Lot Width</b>             | None                                                                            | 100' along Arterials                                                            | 100' along Arterials                                                            |
| <b>Minimum Building Height</b>       | None                                                                            | 14'                                                                             | 18'                                                                             |
| <b>Maximum Building Height</b>       | 48'                                                                             | 48'                                                                             | 48'                                                                             |
| <b>Maximum Impervious Surface</b>    | 60%                                                                             | 65%                                                                             | 70%                                                                             |
| <b>SETBACKS</b>                      |                                                                                 |                                                                                 |                                                                                 |
| <b>Minimum Front Setback</b>         | Maximum 50 feet; Refer to Parking, Landscaping and Access Management Standards* | Maximum 55 feet; Refer to Parking, Landscaping and Access Management Standards* | Maximum 60 feet; Refer to Parking, Landscaping and Access Management Standards* |
| <b>Minimum Interior Side Setback</b> | 10' minimum                                                                     | 10', if adjacent to residential use, increase to 15'                            | 10', if adjacent to residential use, increase to 20'                            |
| <b>Minimum Rear Setback</b>          | Refer to Parking, Landscaping and Access Management Standards                   | Refer to Parking, Landscaping and Access Management Standards                   | Refer to Parking, Landscaping and Access Management Standards                   |

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|            |                       |                       |                       |
|------------|-----------------------|-----------------------|-----------------------|
| Open Space | Refer to Table 12.4.2 | Refer to Table 12.4.2 | Refer to Table 12.4.2 |
|------------|-----------------------|-----------------------|-----------------------|

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                         |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>Illustration: C-2 New Commercial Development Site Standards</b></p>                                                                                                                                                                                                                                                                                                                                                                                                   | <p><b>Example Commercial Building Forms: C-1, C2, &amp; C-3 Districts.</b></p>        |
| <p>A. <b>Lot Area:</b> One quarter (¼) acre<br/>         B. <b>Lot Frontage:</b> 100 feet<br/>         C. <b>Side Setback:</b> 10 feet (15' when adjacent to Residential or Mixed-Use)<br/>         D. <b>Height:</b> 48 feet maximum<br/>         E. <b>Impermeable Surface Ratio:</b> 65 percent for new development<br/>         F. <b>Rear Parking Lot and Permeable surface</b> (not required but a solution if impermeable surface ratio is exceeded)<br/>         G. <b>Lot Line</b><br/>         H. <b>Required Landscape Strip and Sidewalk</b></p> |   |

- D. **Commercial District Design Standards.** The following design standards apply to new construction, substantial repair or rehabilitation meant to remedy damage or deterioration of the exterior façade of an existing structure, and additions to an existing structure.

Where residential uses are allowed they are subject to the applicable design standards in Subsection 6.2.

(1) *General Façade Requirements.*

- a. Building façades that abut a public right-of-way, excluding alleys, must not contain blank wall areas that exceed 25 linear feet, measured parallel to the street.
- b. Building façades that abut a public right-of-way, excluding alleys, must include a repeating pattern with no less than two of the following elements: color change, texture change, material module change, or a wall articulation change such as a reveal, pilaster, or projecting rib. All elements must repeat at intervals indicated in the following:

- i. Building façades that are less than 500 feet long shall be modulated at intervals no greater than 75 feet in length.
- ii. Building façades that are more than 500 feet long shall be modulated with intervals no greater than 15 percent of the length of the façade.
- iii. See approved material and ratios list as provided in Subsection 2.2.
- iv. Alternative design and pattern repetition may be considered.
- c. All buildings of two or more stories must be designed with a definable base (ground floor), through the use of architectural features such as cornice treatments, recesses, corbeling, brick courses, accent or impression lines, and window designs.
- d. All buildings must have a public entrance from the sidewalk along the primary building frontage. Public entrances must be visually distinctive from the remaining portions of the façade along which they are located.

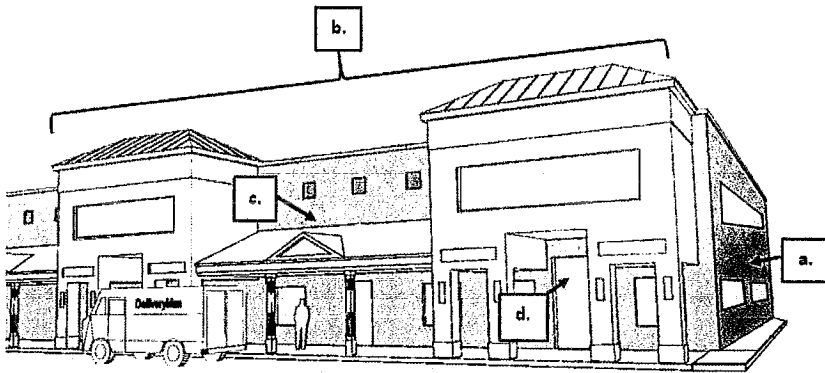


Figure 6.3.1. Commercial District Design Standards Diagram

(2) *General Roof Design Requirements.*

- a. Rooflines over 100 linear feet in building length must be variegated, and incorporate major focal point features, such as a dormers, gables, or projected wall features. An element of variegation on the roofline must occur at intervals of no more than 50 feet.
- b. Parapet walls must feature three-dimensional cornice treatments or other shadow-creating details along their tops.
- c. Green roof, blue roof, and white roof designs are encouraged.
- d. Reflective roof surfaces that produce glare are prohibited, except for solar panels or white roofs intended to radiate absorbed or non-reflected solar energy and reduce heat transfer to the building, provided no hazard is created by the installation of such materials.

- e. Pitched roofs. All buildings less than 5,000 square feet of gross floor area must have a pitched roof with a minimum pitch of 2:12. All one-story buildings less than 10,000 gross square feet must have a pitched roof between 2:12 and 12:12; provided, however, that if a pitched roof is not possible, a combination of flat roof and pitched roof is desired. A pitched roof on the front and side of the building must be provided to screen view of any flat roof. Arcades, drive-under canopies, porches, and other features with pitched roofs must be created.
- f. Mansard roofs. Mansard roofs shall have a maximum pitch of 12:12 with a minimum 12-foot vertical surface length.
- g. Flat roofs. Exposed metal flashing shall be copper or factory finished sheet metal. If factory finished metal flashing is used, such as standing seam, the color must be subdued to blend with other materials or of a color to simulate weathered copper or bronze. All buildings with flat roofs shall include parapet articulation on the front façade of such building.
- h. Other. Drive-under canopies for gasoline pumps may have flat roof with vertical or factory formed facing of finished sheet metal.

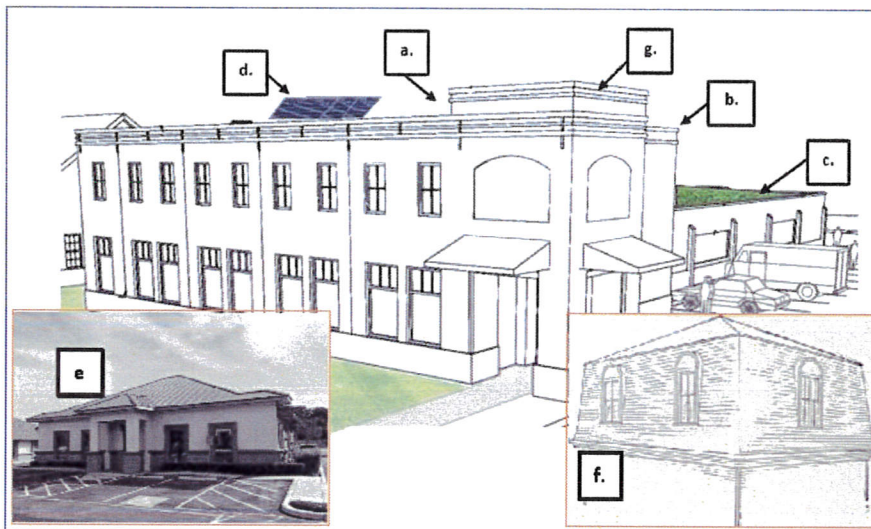


Figure 6.3.2. Commercial District Roof Design Diagram

(3) *Retail Center Design Standards.*

- a. The site shall be designed so that there is safe pedestrian access to the center from the public right-of-way and safe pedestrian circulation within the development.
- b. A cohesive character is required through the use of coordinated hardscape treatment (special paving materials, lighting, street furniture, etc.) and landscaping.
- c. Retail Center Developments may satisfy front setback requirements with outlot building placement, provided they meet the other requirements of this Subsection and span at least 60% of the street frontage of the development.

- d. Outlot buildings.
  - i. Outlot buildings must include showcase windows and entrances oriented toward both the street and the interior parking lot.
  - ii. If outlot buildings are part of a multi-tenant retail center development:
    - 1) Outlot buildings fronting Collector or other Minor Street types, must define the street frontage by placement within 0' to 25' of the front lot line.
    - 2) Outlot buildings fronting Arterial Streets shall be permitted to the maximum front setback of the underlying zoning district.
  - iii. A street presence for a mixed-use retail center must be created by locating part of the center or outlot buildings within 0' to 25' of the lot line for at least 30% of the frontage. The center or outlot buildings may be placed within a required setback to comply with this standard.
- e. Lot Configuration.
  - i. Developments involving outlot buildings will be reviewed on a ~~case-by-case~~ case-by-case basis and may be required to apply for a variance based on the parking configuration standards found within this Unified Development Code.

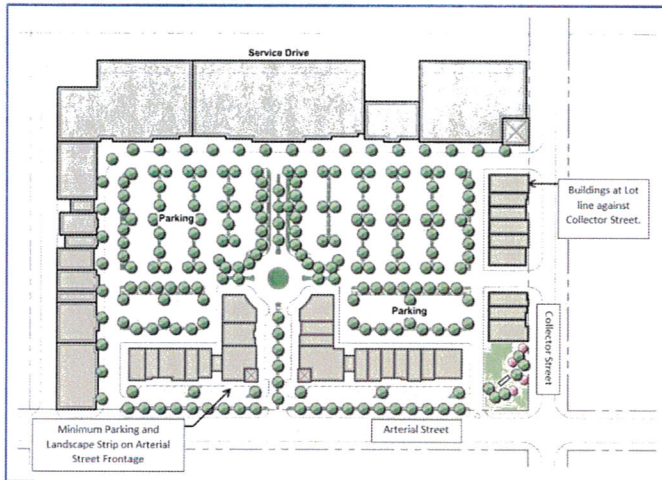


Figure 6.3.3. Outlot Building Setback Diagram.

- (4) *Fenestration Standards.*
  - a. Windows shall be recessed no less than two ~~inches, or inches~~ projected out from the façade plane to provide depth and shadow.
  - b. The ground floor of all street fronting non-residential and mixed-use buildings shall maintain a minimum transparency of 30%. Store front windows shall begin no higher than two (2) feet above grade level.

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- c. Upper floors of the front façade must maintain a transparency of 25% of the wall area of the story.

( Ord. No. 1491-19 , § 1, 1-14-2020)

## 6.4 SPECIAL DISTRICTS STANDARDS

### A. Purpose Statements.

- (1) *R-U Rural Urban District.* The R-U Rural Urban District is a less restrictive district intended to provide for a reasonable and mixed-use of property while keeping with the surrounding area and nearby character and preventing blighted conditions to proliferate. This district is intended for those areas where development patterns are unclear and seeks to provide flexibility for a variety of uses and dimensional standards.
- (2) *~~R-C1~~ RC-1 Residential Commercial District.* The RC-1 Residential Commercial District is intended to be a mixed-use district that will promulgate redevelopment of the downtown, historic, and riverfront areas of the City. The district provides for a more intensely developed midtown and downtown area with a planned mixture of residential, commercial, and office uses. Various ancillary uses and amenity features appropriate for midtown and downtown areas are encouraged. Traditional Neighborhood development with an interconnected network of circulation systems that facilitate walking, bicycling, and driving.
- (3) *SSC-RC Stewart Street Corridor Residential Commercial District.* The SSC-RC Mixed Use District designates, regulates, and restricts the location design and use of buildings and structures; to promote higher standards of exterior appearance of buildings and grounds; to stabilize and improve property value in a consistent manner while maintaining and improving the general character of the City; to promote health, safety, and general welfare; and thus to provide the economic and social benefits resulting from an improved and revitalized mixed-use corridor. It is further the purpose of this district to promulgate redevelopment and infill of the area as a planned mixture of residential, commercial, and other uses within a pedestrian friendly and multi-modal corridor providing for various ancillary uses, and amenity features appropriate for a mixed-use corridor.
- (4) *D-CM Downtown Commercial Mixed-Use District.* The Downtown Commercial Mixed-Use District is a multi-purpose district intended to establish standards for structures located within the downtown core area of the City. The District shall provide for high intensity development, mixed uses, and those arts and cultural facilities of varying intensities. Residential dwelling units shall only be allowed above the ground floor, unless the primary historical use of the property was residential. This District is intended as a central entertainment hub and gathering place for the surrounding residential-mixed use districts as well as the nucleus of commercial activity and civic festivals and events. The D-CM will further encourage connectivity and walkability as the surrounding R-C1 district promotes.
- (5) *Public and Education District (P-E).* It is the intent and purpose of the Public and Education district to provide for areas that will accommodate public uses.
- (6) *Conservation District (CON).* It is the intent and purpose of the Conservation district to preserve and protect those lands with valuable natural resources or features, from development impacts and encroachments. All land within the Conservation district is publicly owned.
- (7) *Recreation District (REC).* It is the intent of the Recreation district to provide land for public recreation, parks, and gathering places.
- (8) *Alcoholic Beverage (On-Premise) Overlay District.*

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## 6.3 COMMERCIAL DISTRICT STANDARDS

### A. Purpose Statements.

- (1) *C-1 Neighborhood Commercial Zoning District.* The C-1 Neighborhood Commercial District is intended to accommodate local non-residential uses that predominantly serve the needs of the nearby residential neighborhoods. They should be similar in character of the surrounding residential neighborhood. Apartment Complexes and single-family residential dwelling units may be allowed above the ground floor upon development authority approval. The purpose of this district is to allow for the full development of commercial uses while protecting nearby residential properties from the adverse effects of commercial activities.
- (2) *C-2 General Commercial Zoning District.* The C-2 General Commercial Zoning District is intended to accommodate those lands and structures used to provide for the retail of commodities and furnishings of selected services, trades and other commercial enterprises within the Planning Area. The C-2 District addresses primarily auto-oriented retail, both individual businesses and retail centers, with the intent of improving the pedestrian environment along the existing corridors. Limited mixed-use development with residential dwelling units above the ground floor and higher density, multi-family residential development may be allowed upon development authority approval.
- (3) *C-3 High Intensity Commercial Zoning District.* The purpose of the C-3 High Intensity Commercial Zoning District is to accommodate regional commercial centers, wholesale distribution, storage, and light manufacturing. The C-3 District provides for large-scale development that may generate a sizeable amount of traffic and typically requires significant off-street parking. High density multi-family development is allowed and shall adhere to the standards required in the R-3 Zoning District.

### B. General Commercial Districts Dimensional Standards.

- (1) *Exception to Front Building Line Setback.*
  - a. Where the construction of a commercial structure is proposed within 50 feet of an existing commercial structure(s) and where the existing commercial structure(s) have been constructed at less than the minimum or maximum required front yard setback, then the development approval authority may permit construction of the proposed structure with a front yard setback less or greater than that required by these regulations; provided that the allowed setback is consistent with the average setback of the existing adjacent structures.
- (2) *Ground floor area limitation.*
  - a. New commercial buildings may not exceed 100,000 gross square feet in ground floor area.
  - b. New commercial buildings greater than 50,000 gross square feet must obtain special exception approval as identified in Article 3. In determining whether to grant an increase in ground floor size beyond 50,000 square feet, the board of adjustment and city council shall consider the following factors:
    - i. The site has safe, immediate access to Highway 87, 89, and/or 90.
    - ii. The building site will provide convenient interconnections with adjacent uses and properties that serve both pedestrians and automobiles.
    - iii. The architectural design of the building reduces the perceived size of the building by appropriate articulations and variations in the massing, façade, roofline, materials, colors, and textures of the building exterior.

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- iv. The building and site meets or exceeds all other standards set forth in this section and by this Unified Development Code.
  - v. The owner/developer shall be required to reclaim the site for other development purposes if the facility is abandoned/unused for a period of 24 months.

(3) *Building height.*

- a. Where permitted in a district, non-residential buildings may be increased in height; provided that the building is set back from all yard lines one additional foot for each three feet such building exceeds the height limit of the zoning district in which the building is located. However, no such structure shall exceed five stories or 60 feet in height, except as provided in Subsection 4.2(K). Height increase above those indicated in the underlying zoning district provided in section 6.3(C) may require Board of Adjustment approval.
- b. Any building of which 50 percent or more is located within 250 feet of the centerline of an arterial street shall be no more than three stories in height. A relief from height restrictions shall only be allowed if special use approval is granted by the Board of Adjustments, in accordance with procedures in Article 3.
- c. In deciding whether to grant a height increase, the Board shall consider the following factors and others:
  - i. Proximity and relationship of the proposed building to other buildings.
  - ii. Fire and Life Safety.
  - iii. Impact of the proposed building on single-family residences on nearby tracts.
  - iv. Topography and vegetation that screen the view of the proposed building.
  - v. On-site screening and/or landscaped buffers.
  - vi. Provision of public open space in exchange for increased building height.
  - vii. The effect of additional building height on traffic congestion.
  - viii. Access of the site to major traffic arteries.
  - ix. Economic development opportunities for the city.
  - x. The necessity of greater building height to the function of the proposed use.
  - xi. The quality of the architectural design and its compatibility with its surroundings.

(4) *Residential Standards for the C-1, C-2 and C-3 Commercial Districts.* Residential subdivisions, where allowed, shall comply with the yard requirements of the underlying zoning district, the requirements of Subsection 6.2(E)(4), all applicable standards of this code relating to landscaping, access management, parking, stormwater and other, as well as the following requirements:

- a. Reverse-fronting lots are required for residential subdivisions along streets classified as arterials or collectors, subject to subsection (4)(b) of this section. Reverse-fronting residential lots shall be platted with a landscaped access easement, meeting the requirements of Subsection 12.5, restricting vehicular access placed adjacent to the public right-of-way. Such easement shall be a minimum of 20 feet in depth and include one of the following:
  - i. A continuous four-foot high solid wall constructed entirely of brick or stone masonry with decorative elements to include material and color changes, trim, and coping.
  - ii. A four- to six-foot high fence constructed of a combination of brick or stone masonry pillars with iron pickets.

- iii. A four- to six-foot high wood privacy fence with a vegetated strip of canopy trees, shrubs, and groundcover that provide a full landscape buffer in front of the fence.
  - b. If a residential lot is separated from the arterial or collector street by a minimum 20-foot wide landscaped strip and a residential street, a residential lot may face an arterial or a collector street. Multi-family development shall be required to install a network of sidewalks and walkways which connect to required common space and to existing sidewalks at each entrance/exit to the development.  
  
If no such sidewalks exist, the development shall be required [to] install a minimum five (5) [foot] wide sidewalk the entire length of the development which abuts a public right-of-way. New multi-family developments shall be required to meet the multi-family dimensional standards found in table 6.2.1. Multi-family developments in these districts shall also be required to meet all parking, landscaping and access management standards, and these standards shall apply when in conflict with table 6.2.1.
- (5) *Lot Standards.*
  - a. Lots should be rectangular in shape with a ratio of depth to frontage of 4:1.
- C. **Dimensional Standards.** Table 6.3.1: Commercial Districts Dimensional Standards for Non-Residential Structures establishes the dimensional standards for structures with no residential component in the commercial districts. These regulations apply to all uses within each district unless a different standard is listed for a specific use. Section 6.3.D has additional design standards that apply to development within the districts.

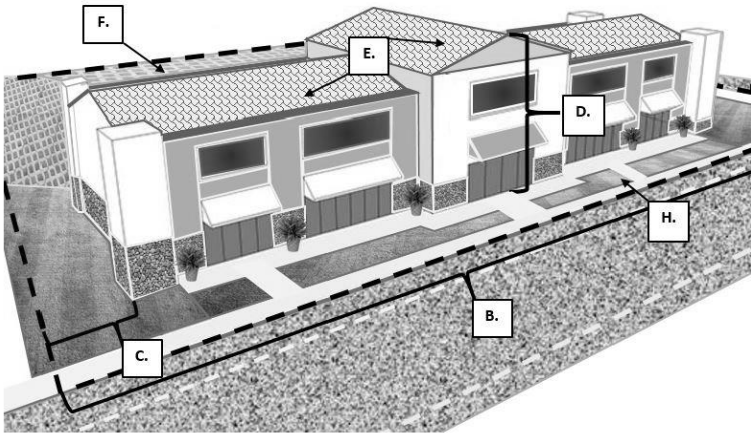
**Table 6.3.1. Commercial District Dimensional Standards for Non-Residential Uses.**

|                                      | C-1                                                                                | C-2                                                                                | C-3                                                                                |
|--------------------------------------|------------------------------------------------------------------------------------|------------------------------------------------------------------------------------|------------------------------------------------------------------------------------|
| <b>BULK</b>                          |                                                                                    |                                                                                    |                                                                                    |
| <b>Minimum Lot Area</b>              | None                                                                               | ¼ Acre (10,890 sf)                                                                 | 20,000 sf                                                                          |
| <b>Minimum Lot Width</b>             | None                                                                               | 100' along Arterials                                                               | 100' along Arterials                                                               |
| <b>Minimum Building Height</b>       | None                                                                               | 14'                                                                                | 18'                                                                                |
| <b>Maximum Building Height</b>       | 48'                                                                                | 48'                                                                                | 48'                                                                                |
| <b>Maximum Impervious Surface</b>    | 60%                                                                                | 65%                                                                                | 70%                                                                                |
| <b>SETBACKS</b>                      |                                                                                    |                                                                                    |                                                                                    |
| <b>Minimum Front Setback</b>         | Maximum 50 feet;<br>Refer to Parking, Landscaping and Access Management Standards* | Maximum 55 feet;<br>Refer to Parking, Landscaping and Access Management Standards* | Maximum 60 feet;<br>Refer to Parking, Landscaping and Access Management Standards* |
| <b>Minimum Interior Side Setback</b> | 10' minimum                                                                        | 10', if adjacent to residential use, increase to 15'                               | 10', if adjacent to residential use, increase to 20'                               |
| <b>Minimum Rear Setback</b>          | Refer to Parking, Landscaping and Access Management Standards                      | Refer to Parking, Landscaping and Access Management Standards                      | Refer to Parking, Landscaping and Access Management Standards                      |

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|                   |                       |                       |                       |
|-------------------|-----------------------|-----------------------|-----------------------|
| <b>Open Space</b> | Refer to Table 12.4.2 | Refer to Table 12.4.2 | Refer to Table 12.4.2 |
|-------------------|-----------------------|-----------------------|-----------------------|

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                                                         |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><u>Illustration: C-2 New Commercial Development Site Standards</u></p>                                                                                                                                                                                                                                                                                                                                           | <p><b>Example Commercial Building Forms: C-1, C2, &amp; C-3 Districts.</b></p>        |
| <p><b>A. Lot Area:</b> One quarter (¼) acre<br/> <b>B. Lot Frontage:</b> 100 feet<br/> <b>C. Side Setback:</b> 10 feet (15' when adjacent to Residential or Mixed-Use)<br/> <b>D. Height:</b> 48 feet maximum<br/> <b>E. Impermeable Surface Ratio:</b> 65 percent for new development<br/> <b>F. Rear Parking Lot and Permeable surface</b> (not required but a solution if impermeable surface ratio is exceeded)<br/> <b>G. Lot Line</b><br/> <b>H. Required Landscape Strip and Sidewalk</b></p> |   |

- D. **Commercial District Design Standards.** The following design standards apply to new construction, substantial repair or rehabilitation meant to remedy damage or deterioration of the exterior façade of an existing structure, and additions to an existing structure.

Where residential uses are allowed they are subject to the applicable design standards in Subsection 6.2.

(1) *General Façade Requirements.*

- a. Building façades that abut a public right-of-way, excluding alleys, must not contain blank wall areas that exceed 25 linear feet, measured parallel to the street.
- b. Building façades that abut a public right-of-way, excluding alleys, must include a repeating pattern with no less than two of the following elements: color change, texture change, material module change, or a wall articulation change such as a reveal, pilaster, or projecting rib. All elements must repeat at intervals indicated in the following:

- i. Building façades that are less than 500 feet long shall be modulated at intervals no greater than 75 feet in length.
- ii. Building façades that are more than 500 feet long shall be modulated with intervals no greater than 15 percent of the length of the façade.
- iii. See approved material and ratios list as provided in Subsection 2.2.
- iv. Alternative design and pattern repetition may be considered.
- c. All buildings of two or more stories must be designed with a definable base (ground floor), through the use of architectural features such as cornice treatments, recesses, corbeling, brick courses, accent or impression lines, and window designs.
- d. All buildings must have a public entrance from the sidewalk along the primary building frontage. Public entrances must be visually distinctive from the remaining portions of the façade along which they are located.



Figure 6.3.1. Commercial District Design Standards Diagram

(2) *General Roof Design Requirements.*

- a. Rooflines over 100 linear feet in building length must be variegated, and incorporate major focal point features, such as a dormers, gables, or projected wall features. An element of variegation on the roofline must occur at intervals of no more than 50 feet.
- b. Parapet walls must feature three-dimensional cornice treatments or other shadow-creating details along their tops.
- c. Green roof, blue roof, and white roof designs are encouraged.
- d. Reflective roof surfaces that produce glare are prohibited, except for solar panels or white roofs intended to radiate absorbed or non-reflected solar energy and reduce heat transfer to the building, provided no hazard is created by the installation of such materials.

- e. Pitched roofs. All buildings less than 5,000 square feet of gross floor area must have a pitched roof with a minimum pitch of 2:12. All one-story buildings less than 10,000 gross square feet must have a pitched roof between 2:12 and 12:12; provided, however, that if a pitched roof is not possible, a combination of flat roof and pitched roof is desired. A pitched roof on the front and side of the building must be provided to screen view of any flat roof. Arcades, drive-under canopies, porches, and other features with pitched roofs must be created.
- f. Mansard roofs. Mansard roofs shall have a maximum pitch of 12:12 with a minimum 12-foot vertical surface length.
- g. Flat roofs. Exposed metal flashing shall be copper or factory finished sheet metal. If factory finished metal flashing is used, such as standing seam, the color must be subdued to blend with other materials or of a color to simulate weathered copper or bronze. All buildings with flat roofs shall include parapet articulation on the front façade of such building.
- h. Other. Drive-under canopies for gasoline pumps may have flat roof with vertical or factory formed facing of finished sheet metal.

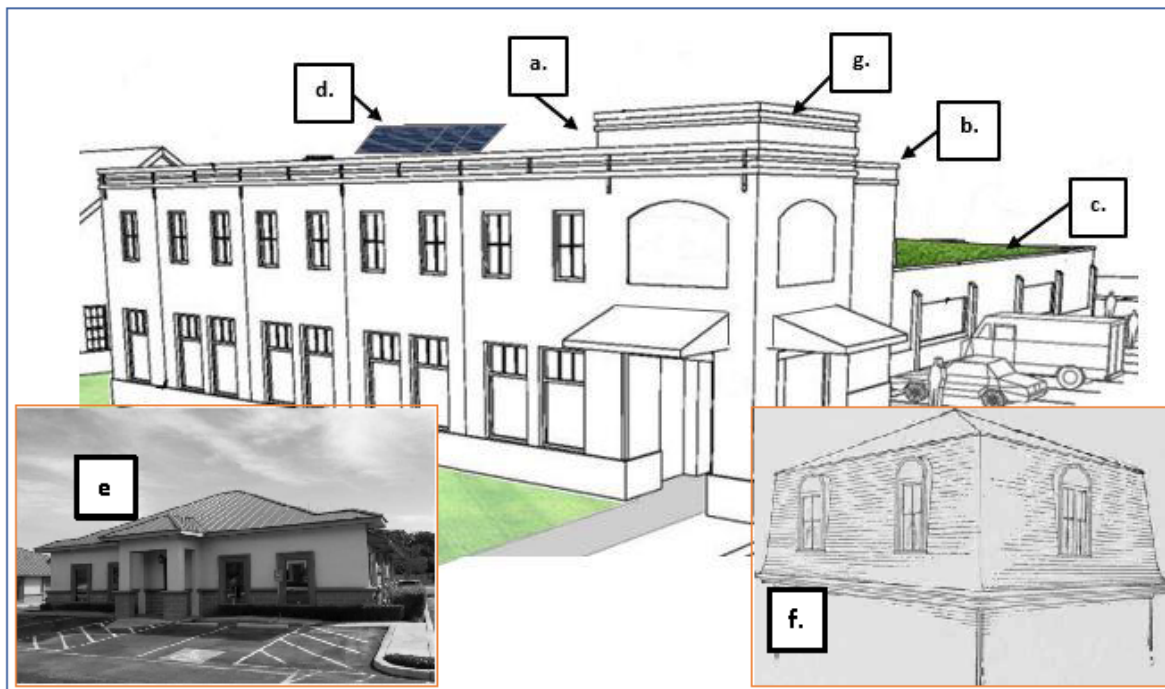


Figure 6.3.2. Commercial District Roof Design Diagram

(3) *Retail Center Design Standards.*

- a. The site shall be designed so that there is safe pedestrian access to the center from the public right-of-way and safe pedestrian circulation within the development.
- b. A cohesive character is required through the use of coordinated hardscape treatment (special paving materials, lighting, street furniture, etc.) and landscaping.
- c. Retail Center Developments may satisfy front setback requirements with outlot building placement, provided they meet the other requirements of this Subsection and span at least 60% of the street frontage of the development.

- d. Outlot buildings.
  - i. Outlot buildings must include showcase windows and entrances oriented toward both the street and the interior parking lot.
  - ii. If outlot buildings are part of a multi-tenant retail center development:
    - 1) Outlot buildings fronting Collector or other Minor Street types, must define the street frontage by placement within 0' to 25' of the front lot line.
    - 2) Outlot buildings fronting Arterial Streets shall be permitted to the maximum front setback of the underlying zoning district.
  - iii. A street presence for a mixed-use retail center must be created by locating part of the center or outlot buildings within 0' to 25' of the lot line for at least 30% of the frontage. The center or outlot buildings may be placed within a required setback to comply with this standard.
- e. Lot Configuration.
  - i. Developments involving outlot buildings will be reviewed on a case by case basis and may be required to apply for a variance based on the parking configuration standards found within this Unified Development Code.



Figure 6.3.3. Outlot Building Setback Diagram.

(4) *Fenestration Standards.*

- a. Windows shall be recessed no less than two inches, or projected out from the façade plane to provide depth and shadow.
- b. The ground floor of all street fronting non-residential and mixed-use buildings shall maintain a minimum transparency of 30%. Store front windows shall begin no higher than two (2) feet above grade level.

- 
- c. Upper floors of the front façade must maintain a transparency of 25% of the wall area of the story.

( Ord. No. 1491-19 , § 1, 1-14-2020)